

**WA/2023/01587** – Application under Regulation 3 for erection of single storey extensions at FOXDENE 16 SHEPHERDS WAY TILFORD FARNHAM GU10 2AB

Applicant: Mr Neil Sawyer - Waverely Borough Council  
Parish: Tilford CP  
Ward: Western Commons  
Grid Reference: E: 487550  
N: 143911  
Case Officer: Matt Ayscough  
Neighbour Notification Expiry Date: 21/08/2023  
Expiry Date/Extended Expiry Date: 01/09/2023  
Committee Meeting Date: Planning Committee 15/11/2023  
RECOMMENDATION That, subject to conditions, permission be  
**GRANTED**

**1. Summary**

The application has been brought to Planning Committee as it is an Application under Regulation 3 whereby the applicant is Waverley Borough Council.

One letter expressing support has been received from a neighbouring property and Tilford Parish Council advise that they support the application.

The application is for the erection of single storey extensions to a Council owned property, to facilitate disablement adaptations.

The planning balance assessment concludes that the proposal is in accordance with the Development Plan. As such, planning permission is recommended for approval.

**2. Site Description**

- The application site is located: To the north of Shepherds Way, Tilford.
- Property Type: Two-storey semi-detached property.
- Character: Residential, rural settlement in Green Belt
- Site Levels: Sloping down to the south

**3. Proposal**

Application under Regulation 3 for erection of single storey extensions, comprising:

- Erection of a single-storey rear extension
- Erection of single-storey side extension

**4. Relevant Planning History**

Reference	Proposal	Decision
WA/2020/0198	Erection of extension and alterations (as amplified by additional information received 08/04/2020, 23/04/2020 and 02/06/2020)	GRANT 30/07/2020

5. Relevant Planning Constraints

Green Belt within the rural settlement of Tilford  
Surrey Hills AONB & AGLV  
Thames Basin Heath 7km Buffer Zone  
Wealden Heaths I SPA 1km Buffer Zone  
Wealden Heaths I SAC 2km Buffer Zone  
Ancient Woodland 500m Buffer Zone

6. Relevant Development Plan Policies and Guidance

- Waverley Borough Local Plan (Part 1): Strategic policies and sites (adopted February 2018): SP1, TD1, ST1, NE1, NE3, RE2, RE3, CC1, CC2
- Waverley Borough Local Plan (Part 2) 2023: DM1, DM2, DM4, DM5, DM13
- South East Plan: Saved policy NRM6

7. Consultations and Town/Parish Council Comments

Tilford Parish Council	Support
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8. Representations

1 letter has been received expressing support for the following reasons:

We live in the attached property and we full support this plan which is desperately needed for the welfare of the family.

9. Planning Considerations:

10. Principle of development

The site is within the developed area of Tilford wherein the principle of extensions and alterations is acceptable subject to residential and visual amenity impact considerations.

11. Impact on the Green Belt

The site is located within the Green Belt outside any defined settlement area. Policy RE2 of the Local Plan (Part 1) 2018 outlines that the Green Belt will continue to be protected from inappropriate development. Inappropriate development will not be permitted unless very special circumstances can be demonstrated.

Certain forms of development are considered to be appropriate, and will be permitted provided they do not conflict with the exceptions listed in paragraphs 149 and 150 of the NPPF.

Local Planning Authorities are required to give substantial weight to any harm which might be caused to the Green Belt by the inappropriate development.

Proportionate extensions are considered appropriate Green Belt development. In assessing whether a proposed extension is disproportionate, account will be taken of the relative increase in floorspace together with the form, bulk and height of the proposal in comparison to the original dwelling.

As a guideline, a proposal which individually or cumulatively increases the floor space of the original dwelling (or as existing in December 1968) by more than 40% will unlikely be considered proportionate and therefore would constitute inappropriate development.

The original ground floor area of the dwelling was determined in previous planning application WA/2020/0198 as 62.29m<sup>2</sup>, based on the submitted existing ground floor plans of that application.

No existing first floor plan was submitted with WA/2020/0198.

The first floor appears to have been never been altered and Officers consider that the original first floor area is 44.51m<sup>2</sup>, as shown on the 'existing' plans with the current application.

Therefore, the original floor area has been calculated as 106.8m<sup>2</sup>.

The current proposal would increase the floor area to 130.84. This represents a 23% increase in the floor area over and above that of the original dwelling. Officers consider that this increase would not constitute disproportionate additions over and above the size of the original dwelling.

Therefore, Officers consider that the proposed development is in accordance with Policies RE2 of the Local Plan (Part 1) 2018, and Policy DM14 of the Local Plan (Part 2) 2023.

## 12. Design and impact on visual amenity, the AONB and the AGLV

The site is located within the AONB and AGLV. Policy RE3 of the Local Plan (Part 1) 2018 sets out that new development must respect and where appropriate, enhance the character of the landscape in which it is located.

The Surrey Hills Management Plan 2020-2025 sets out the vision for the future management of the Surrey Hills AONB by identifying key landscape features that are the basis for the Surrey Hills being designated a nationally important AONB.

Policy TD1 of the Local Plan (Part 1) 2018 requires development to be of high-quality design and to be well related in size, scale and character to its surroundings.

The proposed rear extension would not be widely visible from outside the application site and Officers consider that the design is acceptable. The small side extension would be visible in the streetscene but the design is acceptable.

The proposed extensions are considered acceptable in overall scale and form. As single storey elements, the proposal additions would neither dominate nor compete with the form and proportions of the host dwelling, appearing as subservient additions.

The materials proposed which include red facing bricks, concrete roof tiles and UPVC windows to be in keeping with the host dwelling and acceptable.

Officers consider that the proposed development would not result in harm to the host dwelling, the character of the area and would not be to the detriment of the AONB & AGLV.

The proposal is therefore considered to accord with Policies RE3 and TD1 of the Local Plan (Part 1) 2018 and Policies DM4 and DM5 of the Local Plan (Part 2) 2023.

### 13. Impact on residential amenity

Policy TD1 of the Local Plan (Part 1) 2018 seeks to ensure that new development is designed to create safe and attractive environments that meet the needs of users and incorporate the principles of sustainable development.

Officers have considered the impact of the proposed development on neighbouring properties in respect of overbearing harm, loss of light and loss of privacy.

It is considered that the development proposed complies with the Council's Residential Extensions SPD and would have no material impact on neighbouring properties.

The proposal would therefore accord with Policy TD1 of the Local Plan Part 1 2018, Policies DM5 of the Local Plan (Part 2) 2023 and the Residential Extensions SPD.

#### 14. Parking

Policy ST1 of the Local Plan (Part 1) 2018 states that development schemes should have appropriate provision for car parking. Development proposals should comply with the appropriate guidance as set out within these documents.

Officers are satisfied that the required residential parking provision can be satisfactorily provided without causing material harm to the safety and operation of the existing highway network and that the proposal would accord with Policy ST1 of the Local Plan (Part 1) 2018.

#### 15. Effect on SPAs

The proposed development is for residential extensions and it is not likely to result in a significant increase in the number of people permanently residing on the site and therefore would not have a likely significant effect on the integrity of the SPAs in accordance with Policy NE1 of the Local Plan 2018 (Part 1). An appropriate assessment is not therefore required.

#### 16. Biodiversity and compliance with Habitat Regulations 2017

Policy NE1 of the Local Plan (Part 1) 2018 states that the Council will seek to conserve and enhance biodiversity. Development will be permitted provided it retains, protects, and enhances biodiversity and ensures any negative impacts are avoided or, if unavoidable, mitigated.

Further, Circular 06/2005 states 'It is essential that the presence or otherwise of protected species and the extent that they may be affected by the proposed development, is established before planning permission is granted.'

The application property does not fall within a designated SPA, SAC, SNCI or SSSI. It is not within 200m of ancient woodland or water and is not an agricultural building or barn. Having regard to this, and the completed biodiversity checklist, it is considered that a biodiversity survey is not required in this instance.

#### 17. Ancient Woodland

The application site is within 500m of ancient woodland. However, it is adequately separated from the woodland itself not to be materially harmful and would be in accordance with Policy NE2 of the Local Plan (Part 1) 2018, Policy DM11 of the Local Plan (Part 2) 2023 and paragraph 180 of the NPPF 2021.

#### 18. Climate Change & Sustainability

Policy CC1 of the Local Plan (Part 1) 2018 seeks to support development which contributes to mitigating and adapting to the impacts of climate change, including measures that use renewable and low carbon energy supply systems.

Policy CC2 of the Local Plan (Part 1) 2018 seeks to promote sustainable patterns of development and reduce the level of greenhouse gas emissions.

Policy DM2 of the Local Plan (Part 2) 2023 states that all development should seek to maximise energy efficiency and reduce carbon emissions through its design, structure, orientation and positioning, landscaping and relevant technology.

The Council's Climate Change and Sustainability SPD (October 2022) is relevant.

A Climate Change and Sustainability Checklist has been submitted in support of the application. The proposals include draft proofing and cavity wall/loft/roof insulation. Furthermore, the Design and Access Statement submitted with the application advised that new windows are to be provided with double and triple glazed windows. Minimum U Value of new windows and doors will be 1.6W/m<sup>2</sup>K. New windows and doors will incorporate integral draught stripping.

The measures outlined are considered proportionate to the scale of development proposed and would comply with the relevant policies and guidance. No concern is therefore raised.

## 19. Conclusion

The planning balance assessment concludes that the proposal is in accordance with the Development Plan, as such, planning permission is recommended for approval.

## **Recommendation**

That permission be GRANTED subject to the following conditions:

### 1. Condition:

The plan numbers to which this permission relates are:-

Location Plan PP-12295509v1

Existing Site Plan J10588.00

Ground Floor Proposed Plan J10588.03

Front Elevation Proposed J10588.098

RHS Elevation Proposed J10588.10

Rear Elevation Proposed J10588.11

LHS Elevation Proposed J10588.12

Roof Plan Proposed J10588.13

The development shall be carried out in accordance with the approved plans.

No material variation from these plans shall take place unless otherwise first agreed in writing with the Local Planning Authority.

Reason:

In order that the development hereby permitted shall be fully implemented in complete accordance with the approved plans and to accord with Policy TD1 of the Local Plan 2018 (Part 1) and Policies DM4 and DM5 of the Local Plan (Part 2) 2023.

2. Condition:

No variation of the type and colour of the external materials to be used in the construction of the development as shown on the submitted application shall be made without the prior written consent of the Local Planning Authority.

Reason:

In the interest of the character and amenity of the area in accordance with Policy TD1 of the Local Plan 2018 (Part 1) and Policies DM4 and DM5 of the Local Plan (Part 2) 2023.

3. Condition:

The development shall be carried out in accordance with the appropriate proposed measures identified within the submitted Climate Change and Sustainability Checklist unless first agreed in writing with the Local Planning Authority.

Reason:

In the interests of achieving a high standard of sustainability in accordance with Policies CC1 and CC2 of the Local Plan (Part 1) 2018, Policy DM2 of the Local Plan (Part 2) 2023 and the Council's Climate change and Sustainability SPD (2022).

**Informatives:**

1. The applicant is reminded that it is an offence to disturb protected species under the Wildlife and Countryside Act 1981. Should a protected species be found during the course of the works, the applicant should stop work and contact Natural England for further advice on 0845 600 3078.

The Council confirms that in assessing this planning application it has worked with the applicant in a positive and proactive way, in line with the requirements of Paragraph 38 of the National Planning Policy Framework 2021.

Case Officer Matt Ayscough Signed: Date: 03 October 2023

Agreed by Team or DC Manager.....Date:.....

Time extension agreement in writing seen by signing off officer:

Yes No N/A

Agreed by Development Manager or Head of Planning Services

.....

This report has been agreed under the delegated authority by the Head of Planning Services.

Decision falls within ....(*number reference*) of the Scheme of Delegation  
..... (initialled by Authorising officer)

## **APPENDIX**

# Location Plan

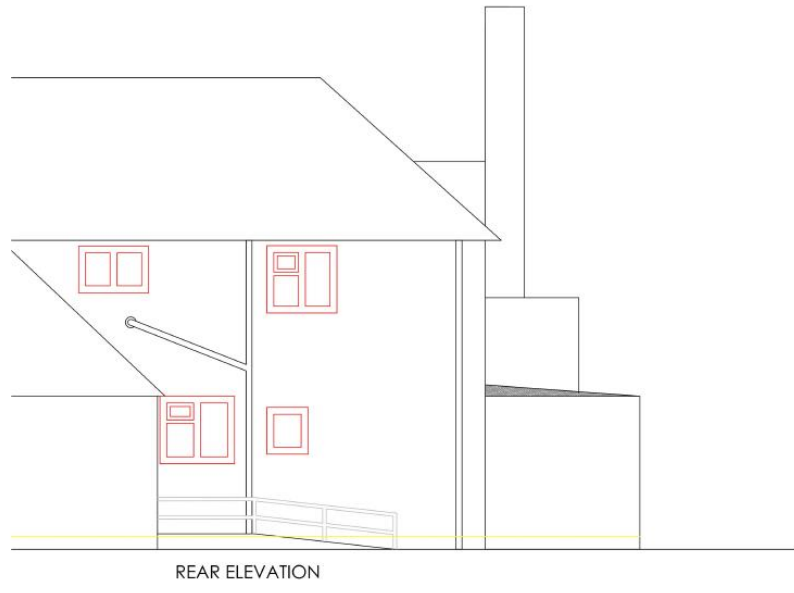




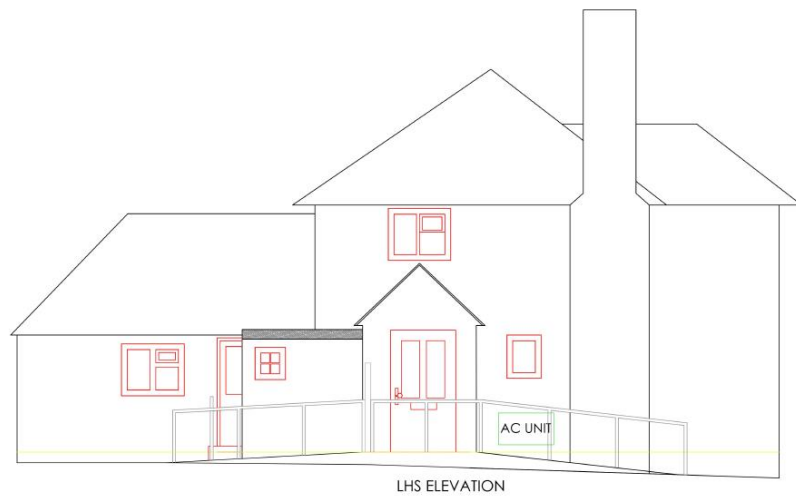
Existing Front Elevation



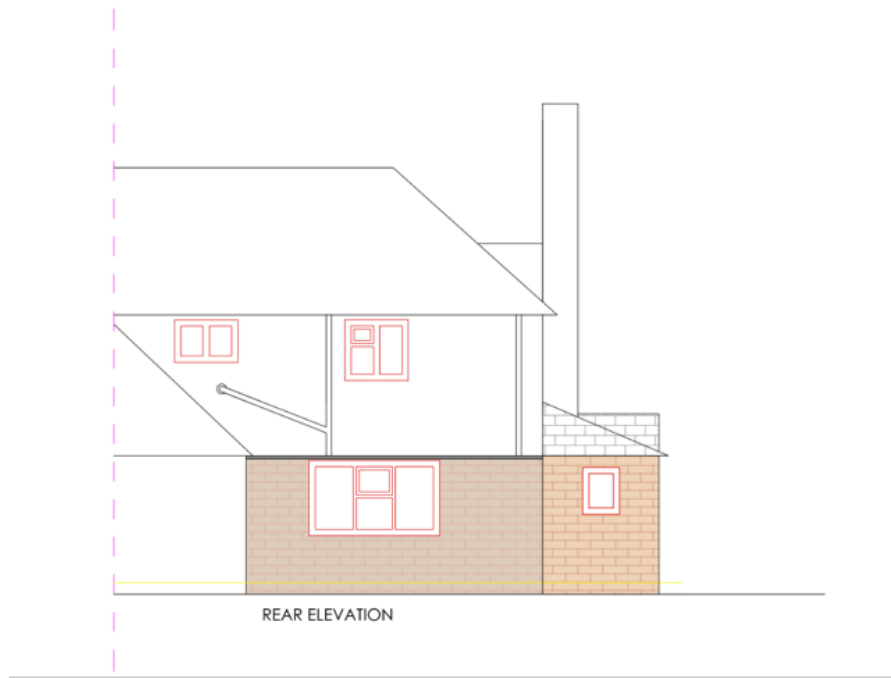
Existing Rear Elevation



## Existing Side Elevation



# Proposed Rear Elevation



# Proposed Front Elevation

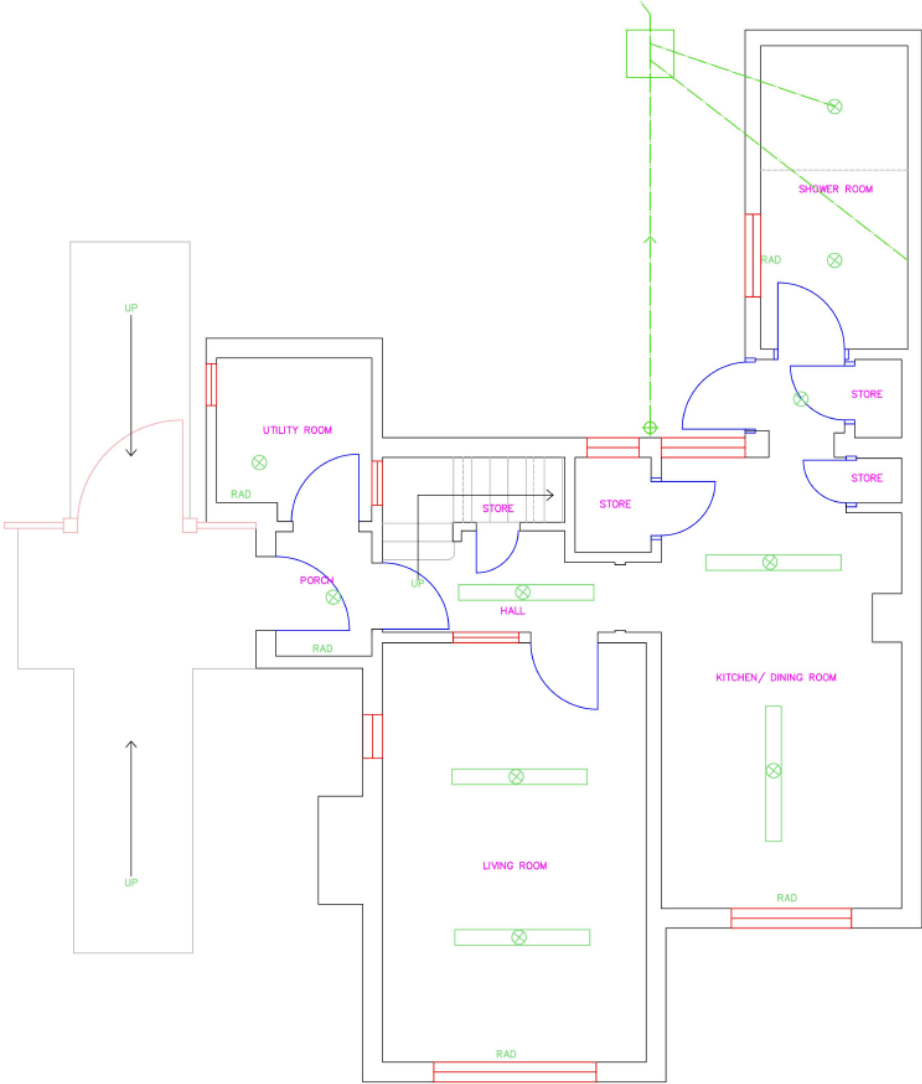


# Proposed Side Elevation



LHS ELEVATION

# Existing Ground Floor Plan



# Proposed Ground Floor Plan

